





All easements, dimensions and areas are subject to survey. The particulars on this brochure are supplied for information only and should not be taken as a representation in any respect on the part of the vendor or its agent.

SD	DM	MM	BC	PD
$\checkmark$	$\checkmark$	$\checkmark$	$\checkmark$	$\checkmark$

NOTE: Refer to Stage 1 Disclosure Plan for details on lot levels, retaining walls and services.

VER:02/03/2022



STAGE 1 (PRELIMINARY) Metres (P) Primary Frontage (A) Proposed Asset Protection Zone 5.25, 15 & 25 Wide (DI) Proposed Easement to Drain Water 3m Wide (D2) Proposed Easement to Drain Water 3m Wide (EF) Proposed Easement for Entry Feature 5m Wide

DALY.SMITH

(RI) Proposed Right of Access 3.5m Wide & Var.

**EXPERIENCE YOU CAN TRUST** 

Aria - Stage 1 Future Residential Previously Released Riparian/Stormwater Corridors Or Buffer Areas

Local Park



20421 STG 1 SALE PLANS (7).dwg Plot Date: 2/03/2022 - 3:17:29 PM RESIDENTIAL

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